

Letter of Intent - RG&E Station 55 - 2070 Empire Boulevard

### Existing Conditions & Proposed Development

The proposed development is currently part of the 2.43-acre parcel known as 2070 Empire Boulevard, Tax Map 093.02-1-1.121. This application proposes to subdivide a portion of that parcel into Lot R-7B (0.532 acres). The parcel is non-residential, vacant commercial property which is currently grass lawn with trees/brush at the western and northern property lines.

The proposed construction would consist of developing an electrical substation meeting the standards of Rochester Gas and Electric Corporation (RG&E) and the required industry codes such as the National Electrical Safety Code (NESC). The substation would replace the existing Station 55 located on the west side of Empire Boulevard. It will support upgrades to transmission and distribution lines in the region, providing back-up circuits to support the electrical load in the Penfield & Webster areas. The new substation will contain gas-insulated switchgear (GIS) equipment, which will be housed inside of a GIS building.

The substation would include a pre-engineered metal-sided GIS building with a gabled standing-seamed metal roof and concrete foundation, two transformers with oil-containment foundations, electrical vaults and handholes, duct banks, conduit trenches, new stone substation yard, security fencing with vehicle gates, and lighting.

Lighting will consist of building-mounted wall-packs and perimeter, security lighting that will be on from dusk to dawn. Additional task lighting will be installed; however, it will only be in use if night work is required. Fixtures are full cut-off and are not anticipated to spill light beyond the property boundary.

The substation will be unmanned and does not require parking (occasional vehicles will be able to park within the substation yard), sanitary lateral, water service, or trash storage.

We understand that screening will be an important consideration for this development. RG&E prefers no vegetation for safety/security purposes. At this time, we are suggesting arborvitae be planted along the property frontage, within the Town's right-of-way, that would require future maintenance by the Town.

### Zoning District & Property Owner

The parcel is currently owned by J J & A Development LLC and located within the Limited Business district. See the enclosed letter of permission from the Owner.

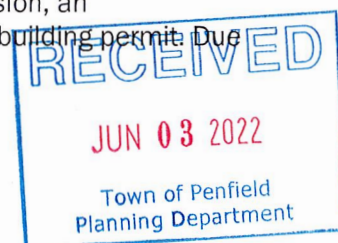
Seabury Boulevard and the nearby parcel at 150 Wexford Place are zoned Multiple Residential.

### Schedule & Phasing

Construction is anticipated to start at the end of 2023, although the schedule is subject to change. The construction sequence and phasing are still in development and will be shared with the Town when available, closer to construction.

### Permits & Approvals

The project will require a variety of Town approvals, including Site Plan, Subdivision, an Environmental Protection Overlay District (EPOD) permit, area variances, and a building permit. Due



to the proximity of the Town of Penfield/Town of Webster municipal border, Monroe County will review the project under General Municipal Law §239.

There are no State or Federal approvals anticipated. The project site is 0.532 acres and therefore will not trigger the need for coverage under the New York State Department of Environmental Conservation SPDES General Permit for Stormwater Discharges from Construction Activity Permit No. GP-0-20-001.

Anticipated area variances to the Penfield Town Code include:

250-5.6(D)(2) Lot coverage

Variance of 23.8% from maximum lot coverage (proposed lot coverage is 88.8%, exceeding the 65% maximum lot coverage requirement)

250-5.6(D)(3) Setbacks

Variance of 65.3 feet from the 80-foot minimum front setback (proposed setback of 14.7 feet)

Variance of 3.8 feet from the 20-foot side setback (proposed setback of 16.2 feet)

Variance of 14.9 feet from the 30-foot rear setback (proposed setback of 15.1 feet)

250-7.1 (D) Fencing

Variance of 6 feet for the fence height within 20 feet of any front property line (proposed 8-foot plus one foot outrigger)

Variance of 3 feet in fence height from the maximum of six feet in height

250-7.2(A)

Variance of 50 feet for a buffer along a boundary line between LB and a residential zoning district.

Zoning Area Variance Criteria

*(1) Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance;*

The variances being requested would not likely create an undesirable change in the character of the neighborhood or create a detriment to nearby properties. The location of the project sits within a transition area between commercial and multi-residential zoned neighborhoods. The proposed utility substation use of the property does not increase the intensity of land use within the neighborhood even though several area variances are being requested. Although several traditional dimensional requirements within the Town's Zoning regulations cannot be met, the site is being designed to fit neatly within a narrow envelope that would be screened from adjoining land uses within the Limited Business and Multiple Residence neighborhood. We note that the southeast side of Seabury Boulevard is lined with evergreen trees that serves as an existing buffer between residences and the roadway. Our proposal includes planting additional evergreens on the northwest side of Seabury Boulevard that would serve as additional screening to the residences to the southeast. The Zoning and Variance Plan on Drawing C201 depicts how the site would be developed within parameters of the requested variances.

The action under consideration will improve the reliability of the electrical transmission and distribution system in the area. The substation is essentially being relocated across the street, as the existing substation parcel is not large enough to accommodate an upgrade while remaining

## Letter of Intent - RG&amp;E Station 55 - 2070 Empire Boulevard

energized. Building the substation on a new parcel will minimize outages to the customers. Instead of building all of the electrical equipment outdoors, the proposed substation will include minimal infrastructure in order to minimize visual impacts. The majority of the electrical equipment will be enclosed within a control house building, and two transformers will be outdoors. This public utility development provides a necessary upgrade for RG&E's customers.

*(2) Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance;*

It is desired to build a new substation in the same general vicinity as the existing Station 55 in order to reconnect the existing transmission lines and minimize the relocation of the transmission lines. Relocation of the substation outside of this area results in significant costs due to relocating transmission and distribution lines. It is much more cost effective to build within the vicinity of the existing substation, which keeps rate payers in mind.

While RG&E did examine other parcels within the neighborhood, the proposed site lends itself to maintaining existing transmission and distribution networks, thereby creating a financially feasible outcome for utility rate payers. Consideration was also given to expanding the current Station 55 located adjacent to the real estate office on the west side of NYS Route 404; however, the existing site will not accommodate required improvements due to inadequate square-footage and immediately adjoining commercial land uses and single-family zoned neighborhood on Kirkland Drive.

*(3) Whether the requested area variance is substantial;*

There are several proposed variances, some of which could be considered substantial such as the inability of the development to meet the 50-foot buffer between the LB and MR zoning districts. However, an electrical substation is not a typical use for any zoning district and the space is maximized for this use. As the project location is in a transition area, and there does not appear to be any overly sensitive land uses immediately adjacent to our proposed project, we contend that the requested variances are not substantial.

*(4) Whether the proposed area variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and*

The citing of an electrical substation in this area will have a positive impact on the availability of reliable electrical power in the area. The substation will be screened per the Town's requirements, which should minimize and avoid adverse visual impacts. No adverse environmental effect would occur in association with providing the requested variances.

*(5) Whether the alleged difficulty was self-created. (In contrast to the context of a use variance, in the context of an area variance application, whether or not the alleged difficulty was self-created shall be relevant to the decision of the Board of Zoning Appeals but a finding that the difficulty was self-created shall not in and of itself preclude the granting of the area variance.)*

While the difficulties we have encountered with our proposal are self-created in comparison to some of the dimensional requirements imposed by the Town of Penfield's zoning regulations, we contend that the site can be designed and developed to minimize and avoid adverse effects to the neighborhood.

## Letter of Intent - RG&amp;E Station 55 - 2070 Empire Boulevard

Relocating an electrical substation involves the reconnection of electrical transmission and distribution lines. If a substation cannot be rebuilt on the same parcel as the existing substation (which needs to remain energized to provide continuous service to customers) RG&E looks at available, undeveloped property near the current substation. The land around the existing Station 55 is developed. However, this proposed subdivided parcel (Lot R-7B) could accommodate the footprint of the proposed substation, though without complying fully with the Zoning Code.

**Environmental Protection Overlay Districts**

According to the Town's GIS viewer, a portion of the north end of the proposed parcel is within the floodplain EPOD as a result of nearby Tributary of Shipbuilders Creek (NYSDEC 847-575.6), which is approximately 400 feet to the east of the property. No other EPODs exist on the proposed parcel.

**Photos of Existing Property**

Looking northeast from the southwest corner of the parcel to be subdivided



Looking north across the parcel to be subdivided from Seabury Blvd



Looking west across the parcel to be subdivided from Seabury Blvd



Looking east across the parcel, toward Daniel's Creek Apartments/Wexford Place

# STATION 55 REBUILD

2070 EMPIRE BLVD  
WEBSTER, NY 14580

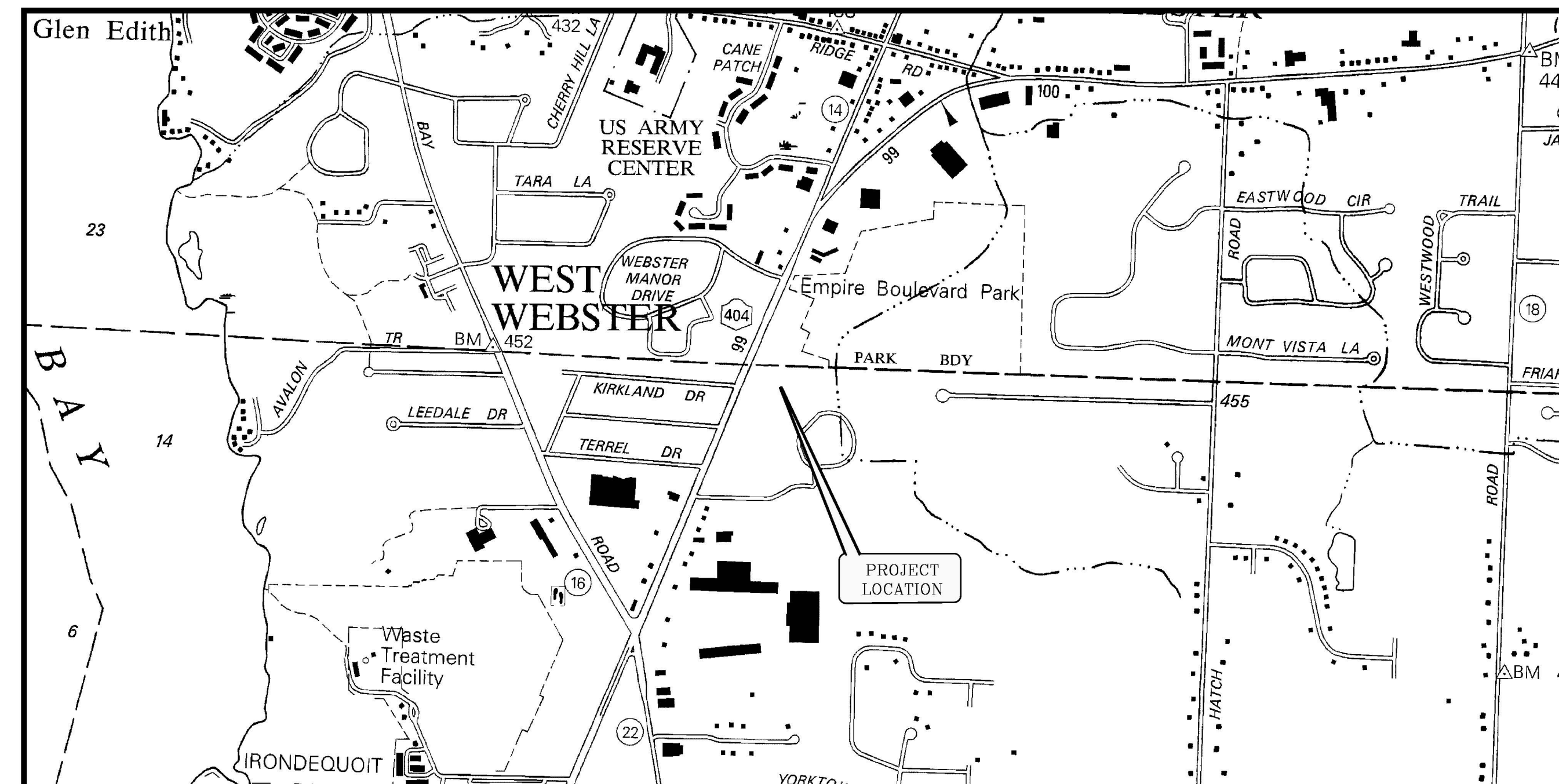
## PROJECT INFORMATION TABLE

	NAME	ADDRESS	CONTACT PHONE
APPLICANT	ROCHESTER GAS AND ELECTRIC CORPORATION (RG&E)	3 CITY CENTER 180 S CLINTON AVE ROCHESTER, NY 14604	CHRIS KEIPPER (585) 363-3204
AGENT/ENGINEER	LABELLA ASSOCIATES, DPC	300 STATE STREET ROCHESTER, NY 14614	MARY STEBLEIN, PE (585) 454-6110

ZONING TABLE		
	REQUIREMENT	PROPOSED
ZONING	LB - LIMITED BUSINESS	LB - LIMITED BUSINESS
FRONT YARD SETBACK, FT.	MIN. 80	14.7
SIDE YARD SETBACK, FT.	MIN. 20	20
REAR YARD SETBACK, FT.	MIN. 30	15.1
IMPERVIOUS SURFACE COVERAGE, %	MAX. 65	88.8
HEIGHT, FT.	MAX. 40	22
FLOOR AREA, S.F.	MAX. 25,000	3,072

**NOTE:**

1. SUBSTATION DESIGN BY OTHERS.



LOCATION MAP  
N.T.S.

## DRAWING INDEX

- C201 SITE, ZONING, & VARIANCE PLANS
- C301 UTILITY, GRADING, & EROSION CONTROL PLANS
- C601 CONSTRUCTION DETAILS
- C602 CONSTRUCTION DETAILS
- C603 CONSTRUCTION DETAILS

## ROCHESTER GAS AND ELECTRIC CORPORATION (RG&E)

3 CITY CENTER - 180 S CLINTON AVE

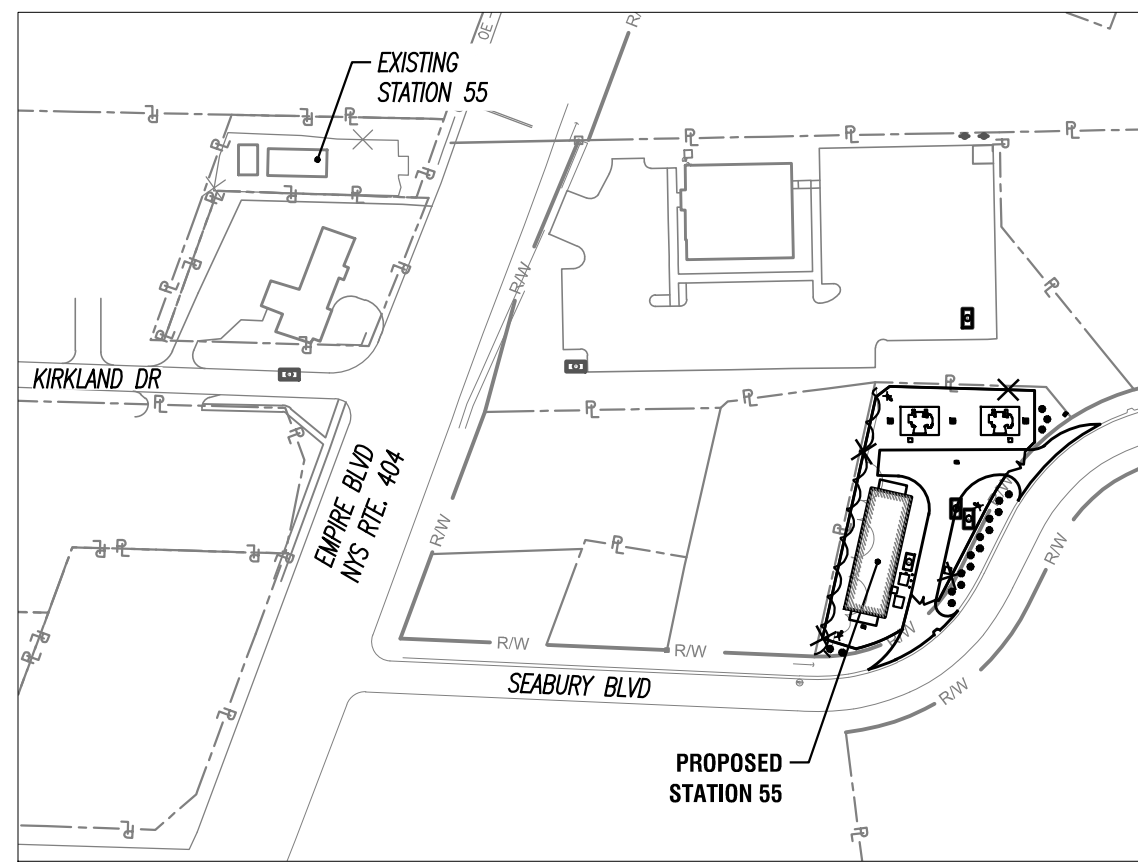
ROCHESTER, NY 14604

PROJECT NO: 2190344.02

JUNE 2022

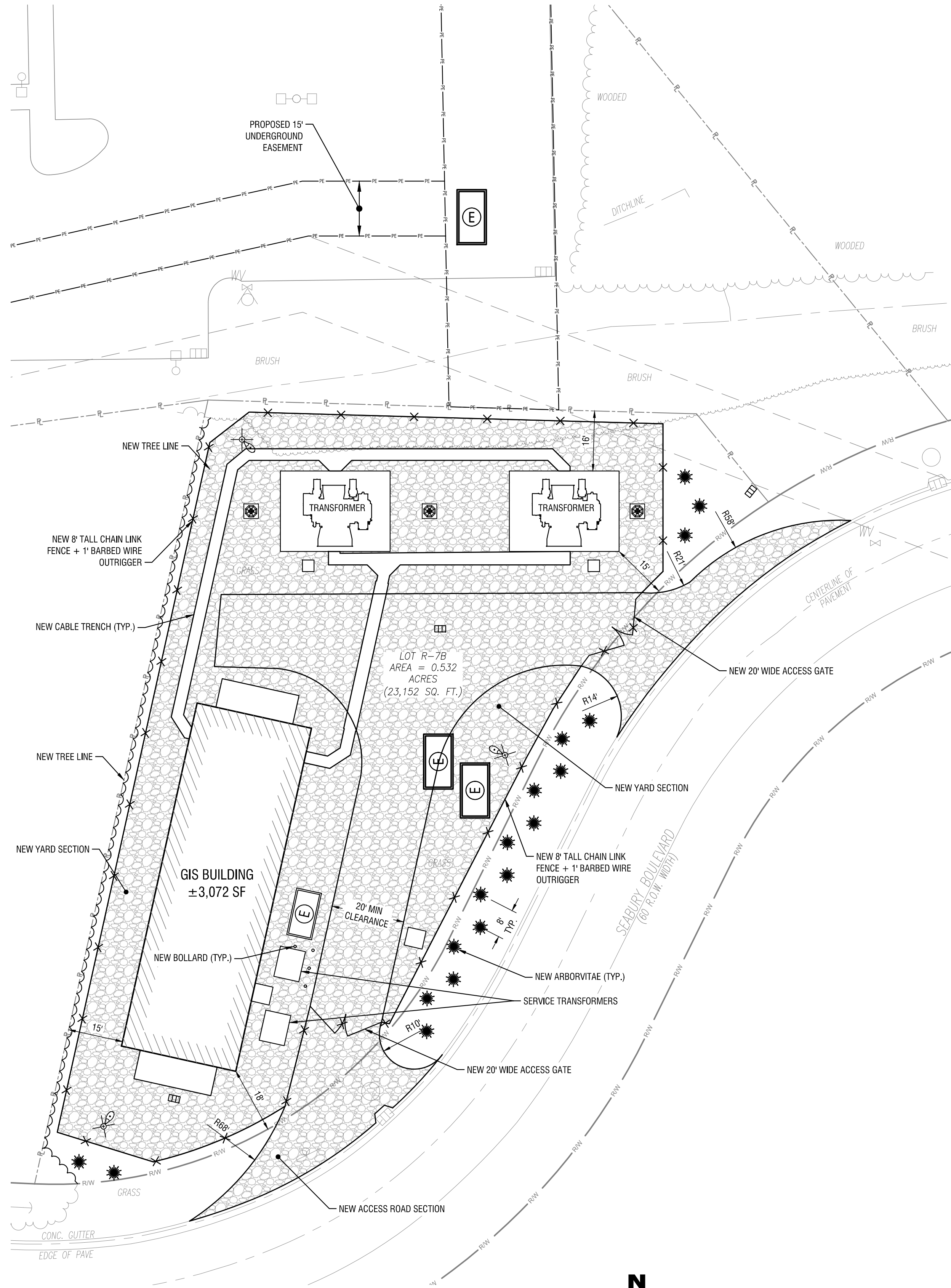


300 State Street, Suite 201  
Rochester, NY 14614  
585-454-6110  
labellapc.com



**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		CATCH BASIN
		MANHOLE (SOLID COVER)
		HYDRANT
		VALVE
		OVERHEAD ELECTRIC
		UNDERGROUND ELECTRIC
		GAS LINE
		SANITARY LINE
		STORM LINE
		WATER LINE
		MAJOR CONTOUR
		MINOR CONTOUR
		EROSION FENCE
		SILT SOCK INLET PROTECTION
		STABILIZED CONSTRUCTION ENTRANCE (TEMPORARY)
		FENCE, CHAIN LINK
		TREE/VEGETATION LIMIT
		BUILDING/STRUCTURE
		PROPERTY LINE
		SETBACK LINE
		EASEMENTS
		RIGHT-OF-WAY
		SIGN
		DECIDUOUS TREE
		CONIFEROUS TREE
		LIGHT POLE SINGLE
		UTILITY POLE
		UTILITY POLE WITH LIGHT
		HANDHOLE
		RGE DUCT BANK
		RGE MANHOLE
		PERIMETER LIGHTING
		LIGHTNING MAST



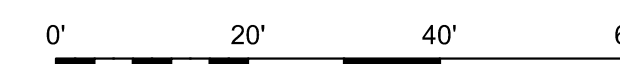
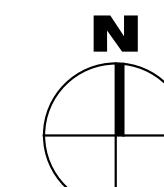
**SITE PLAN**

SCALE: 1" = 20'



**ZONING AND VARIANCE PLAN**

SCALE: 1" = 20'



APPROVED BY:

ENGINEERING & PLANNING	DATE
DIRECTOR OF PUBLIC WORKS	DATE
TOWN CLERK	DATE
FIRE MARSHAL	DATE
PLANNING BOARD CHAIRPERSON	DATE
TOWN SUPERVISOR	DATE
DIRECTOR OF DEVELOPMENT SERVICES	DATE
LANDSCAPE CONSULTANT	DATE

REV.	DESCRIPTION	DATE	BY	CK	APP	OWNER ENGINEER:	APPROVAL STAMP:	PE Stamp

DRAWING PREPARED BY: **LaBella** POWERED BY PARTNERSHIP

ACCEPTED BY OE: \_\_\_\_\_

**AVANGRID ENGINEERING**  
CONFIDENTIAL, PROPRIETARY and TRADE SECRET INFORMATION  
Property of AVANGRID NETWORKS, INC.

**NYSEG**  
AVANGRID

0-0A	06/03/2022	MCP	PERMITTING
REV.	DATE	BY	DESCRIPTION

**STATION 55 REBUILD**  
**SITE, ZONING, & VARIANCE PLANS**

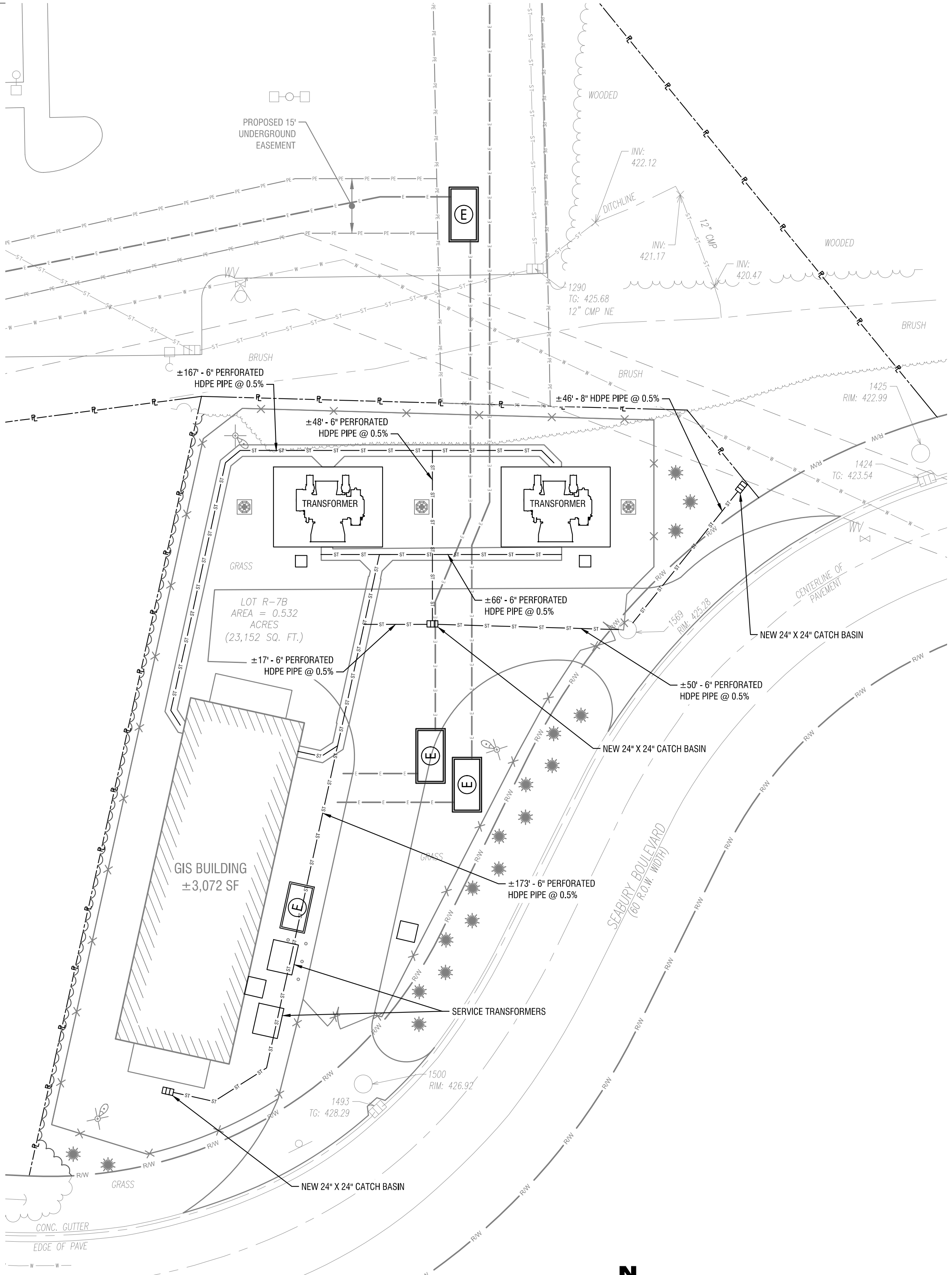
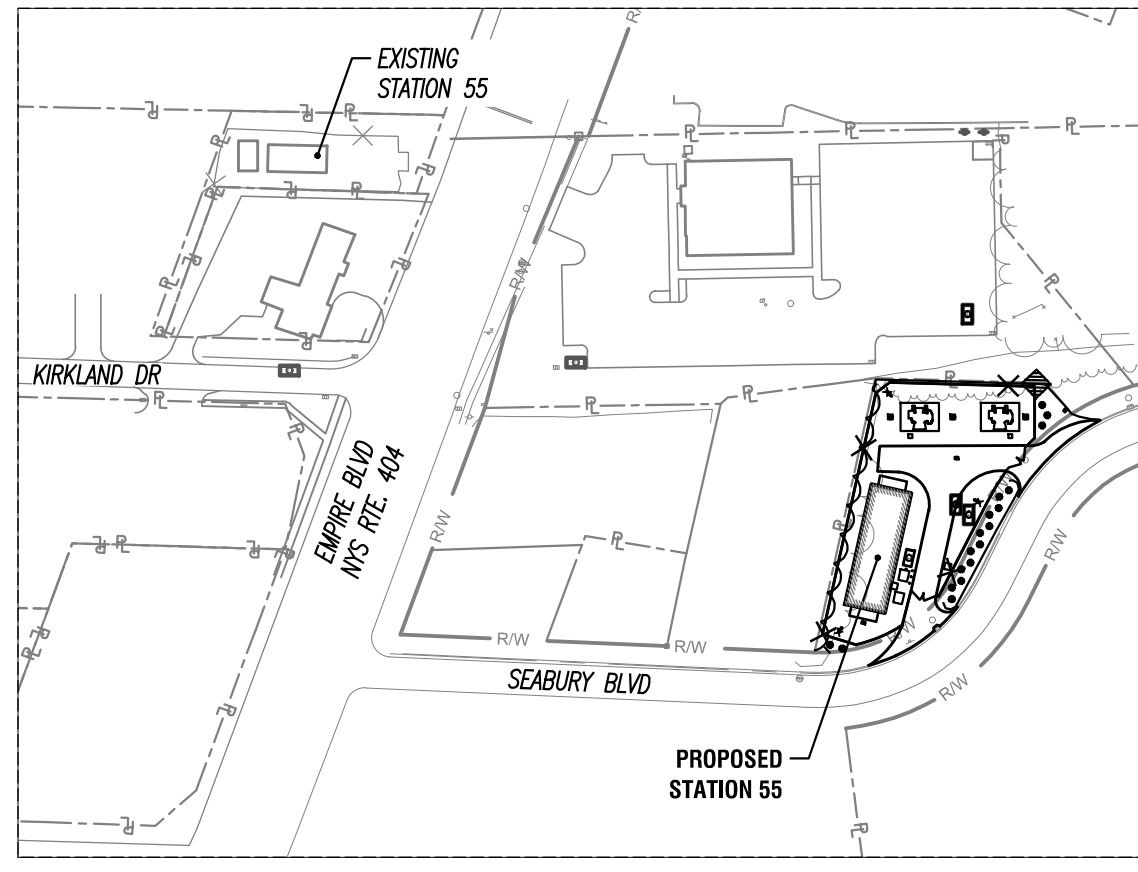
**STATION 55** **MONROE**

DR.	MCP	SCALE: 1" = 20'	FILE: C200 Site-Zoning-Variance Plan.dwg
CK.	MBS	NO.	
APP.	MBS		
REV.	DATE		
	06/03/2022		

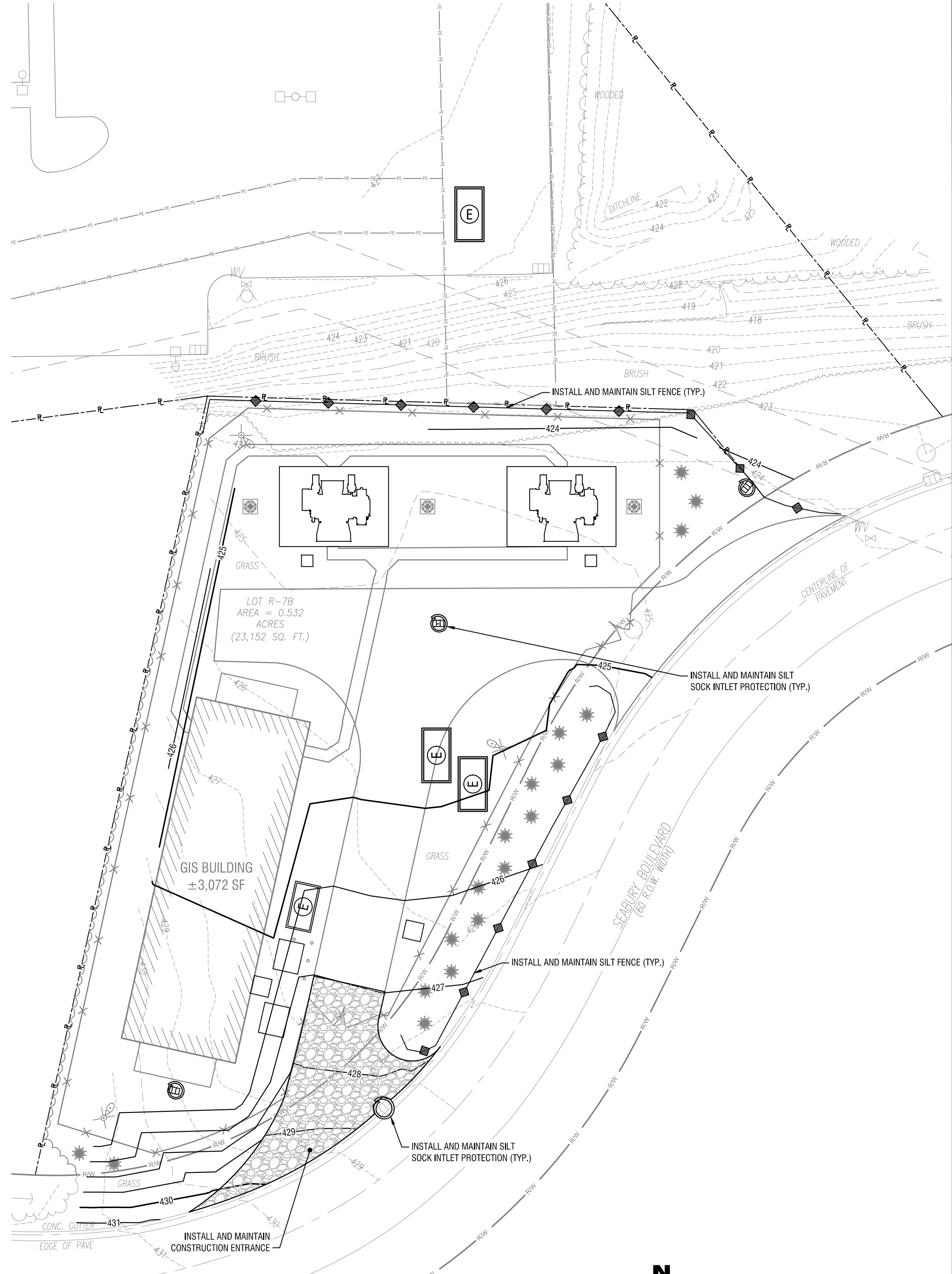
**C201** **0-0A**

ANSI D CADD Drawing. DO NOT REVISE MANUALLY.





UTILITY PLAN  
SCALE: 1" = 20'



GRADING & EROSION CONTROL PLAN  
SCALE: 1" = 20'

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		CATCH BASIN
		MANHOLE (SOLID COVER)
		HYDRANT
		VALVE
		OVERHEAD ELECTRIC
		UNDERGROUND ELECTRIC
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		SANITARY LINE
		STORM LINE
		WATER LINE
		MAJOR CONTOUR
		MINOR CONTOUR
		EROSION FENCE
		SILT SOCK INLET PROTECTION
		STABILIZED CONSTRUCTION ENTRANCE (TEMPORARY)
		FENCE, CHAIN LINK
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		LIGHTNING MAST

APPROVED BY:

ENGINEERING & PLANNING	DATE
DIRECTOR OF PUBLIC WORKS	DATE
FIRE MARSHAL	DATE
PLANNING BOARD CHAIRPERSON	DATE
TOWN SUPERVISOR	DATE
DIRECTOR OF DEVELOPMENT SERVICES	DATE

REV.	DESCRIPTION	DATE	BY	CK	APP	OWNER ENGINEER:	APPROVAL STAMP:	PE Stamp

DRAWING PREPARED BY: **LaBella**  
POWERED BY PARTNERSHIP

ACCEPTED BY OE: \_\_\_\_\_

NOTE:  
1. GRADING TO BE REVISED.

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**NYSEG**  
AVANGRID

0-0A	06/03/2022	MCP	PERMITTING
REV.	DATE	BY	DESCRIPTION

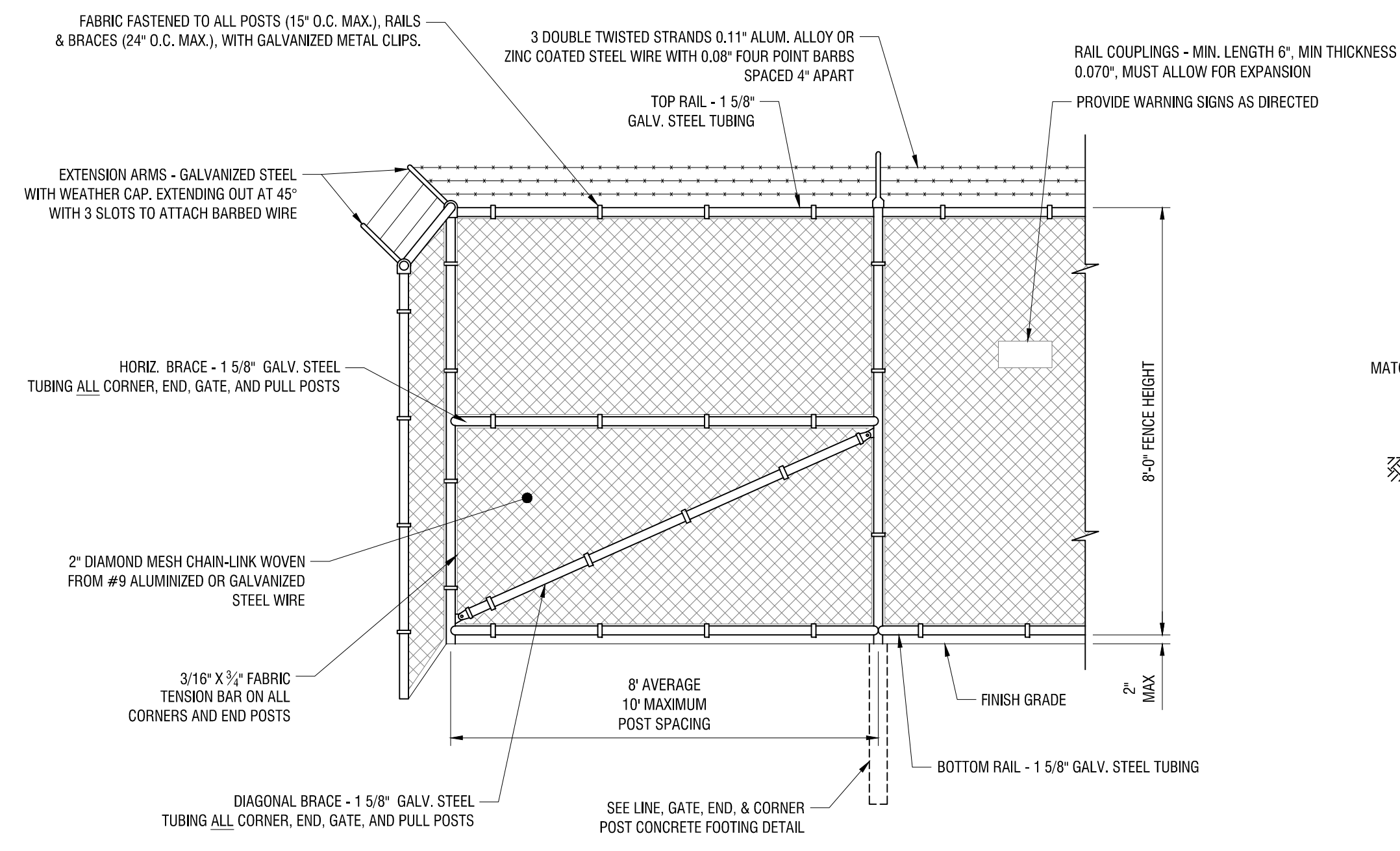
**STATION 55 REBUILD**  
UTILITY, GRADING, & EROSION CONTROL PLANS

**STATION 55** **MONROE**

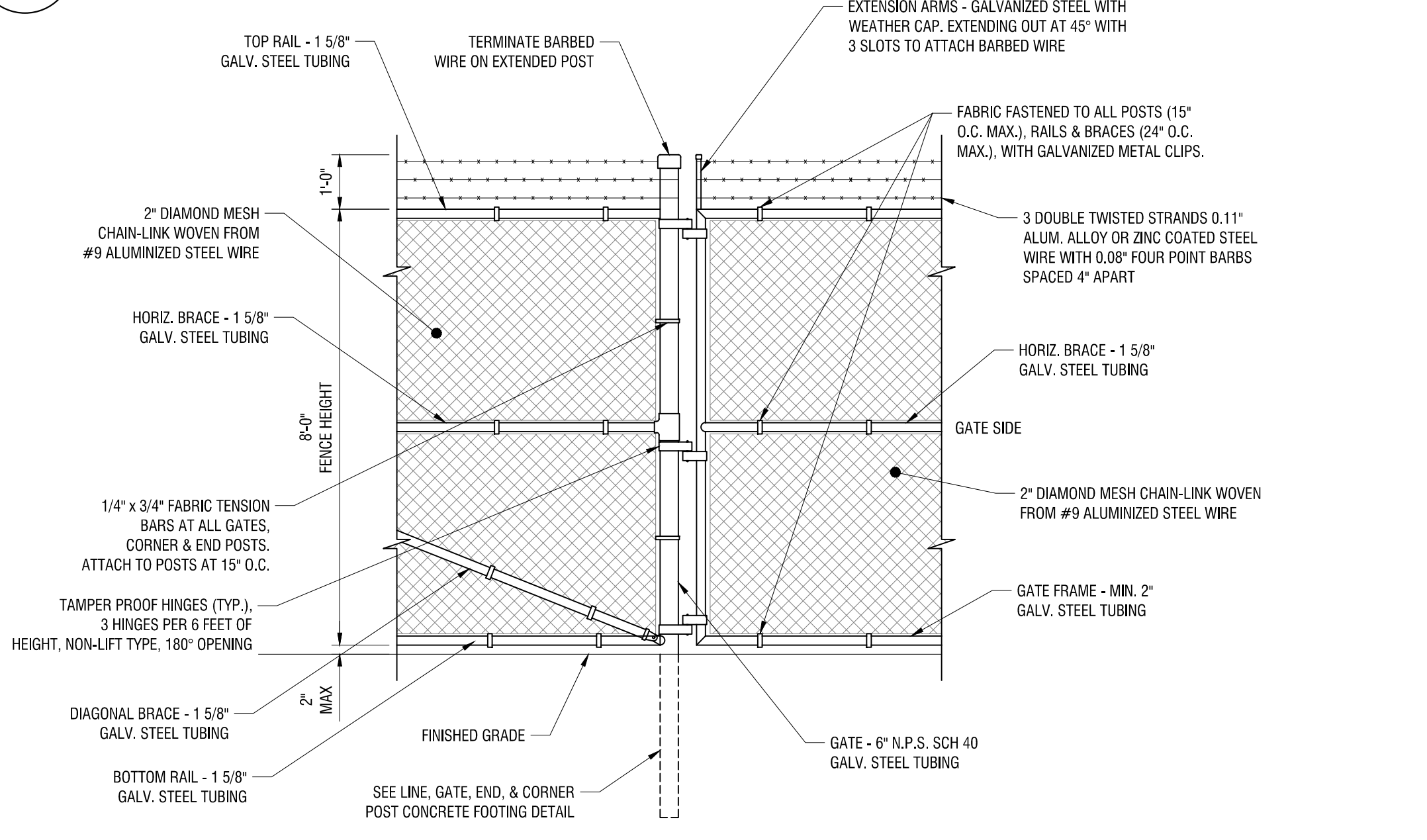
DR.	MCP	SCALE: 1" = 20'	FILE: C301 Utility-Grading-ESC Plan.dwg
CK.	MBS	NO.	
APP.	MBS		
REV.	DATE		

C301 0-0A

ANSI D CADD Drawing. DO NOT REVISE MANUALLY.

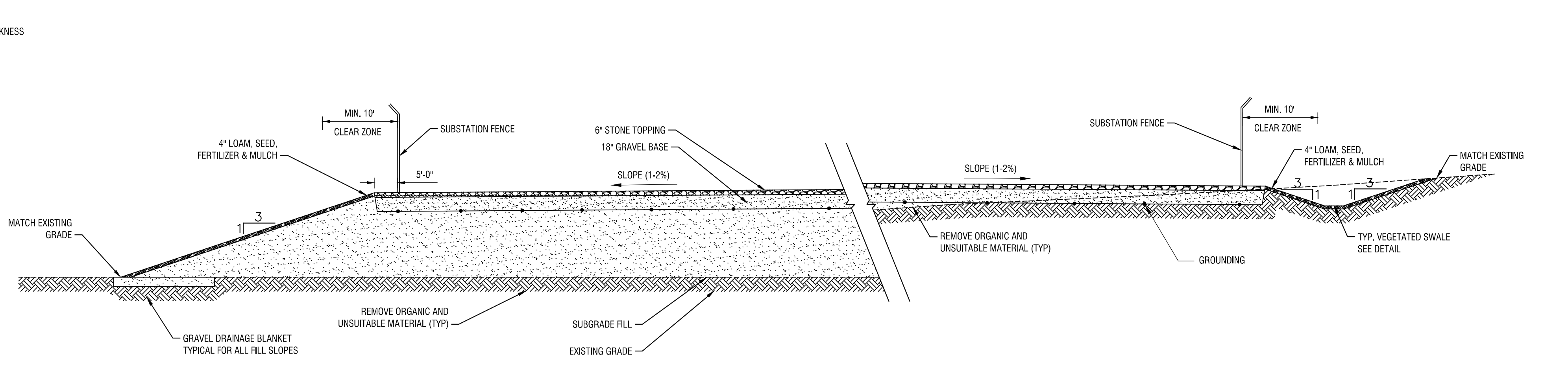


**1 MATERIAL AND STRUCTURAL DETAILS**  
C601 NTS

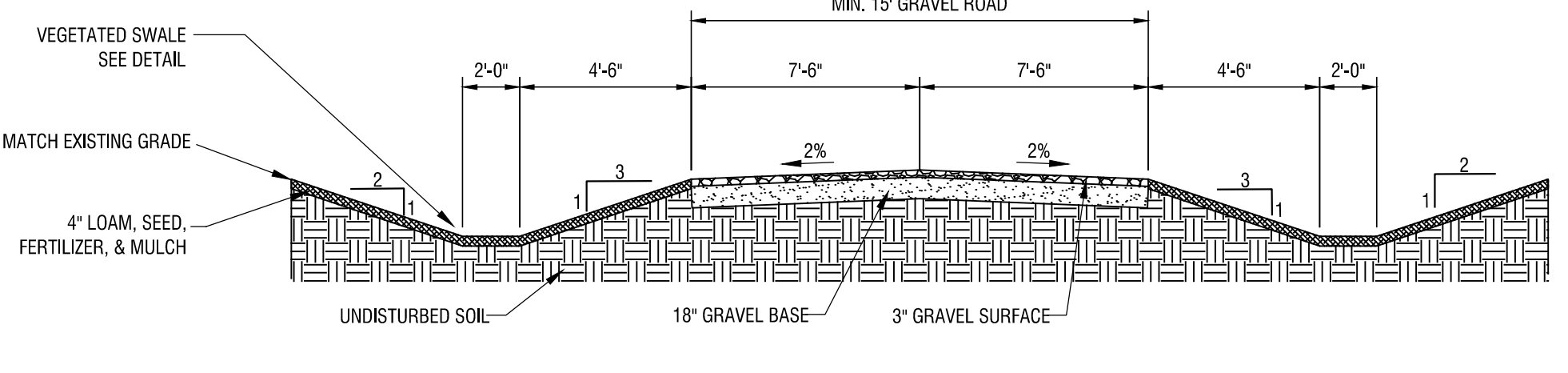


- FENCE AND GATE NOTES:**
- ALL ITEMS SHALL BE GALVANIZED AND ZINC COATED TO ASTM SPECIFICATIONS, INCLUDING ALL POSTS, RAILS, GATES, AND HARDWARE.
  - FENCES AT CRITICAL FACILITIES SHALL BE INSTALLED WITH A DUAL TOP GUARD WITH ARMS EXTENDING INWARD AND OUTWARD.
  - RAZOR WIRE MAY BE USED IN PLACE OF BARBED WIRE IN HIGH RISK AREAS.
  - GATE FENCE FABRIC SHALL BE MOUNTED INSIDE THE FRAME.
  - BOLTS AND HINGES SHALL BE OF A TAMPER-PROOF TYPE.
  - EXPOSED BOLTS AND NUTS SHALL BE SPOT WELDED.
  - REFER TO IBERDROLA STANDARD TM2.71.13 FOR ADDITIONAL FENCE AND GATE REQUIREMENTS.

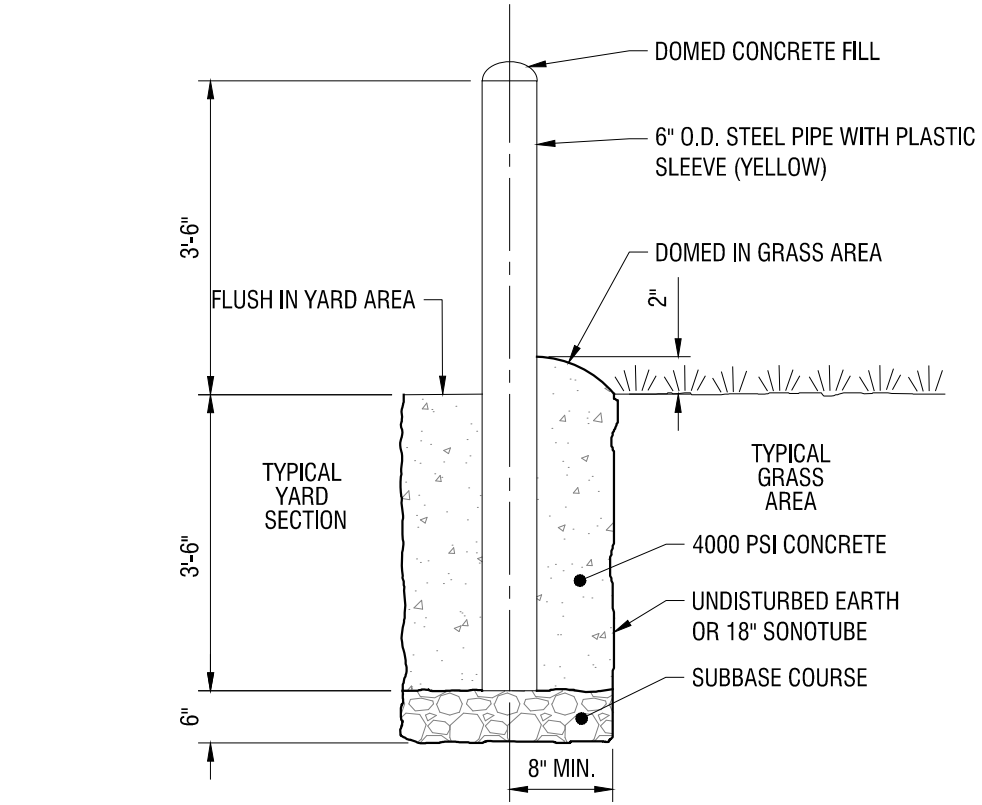
**3 GATE FRAME DETAIL**  
C601 NTS



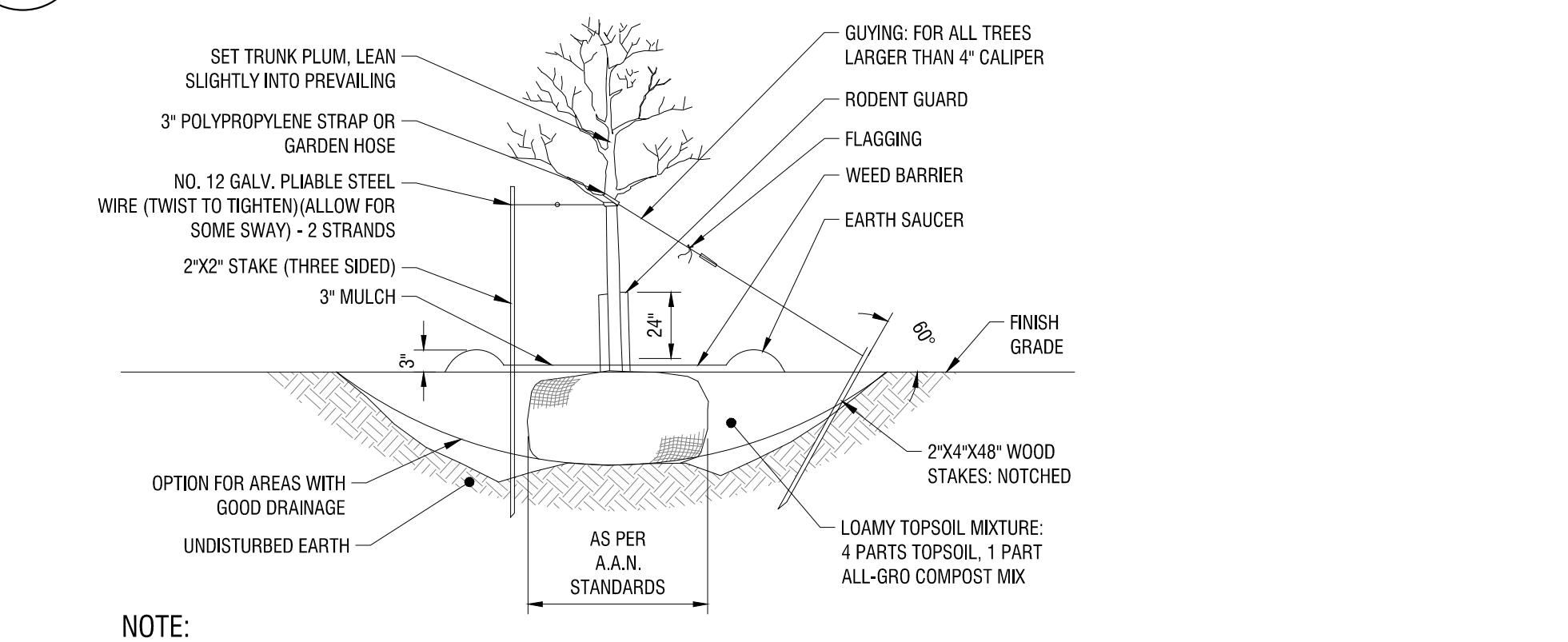
**2 TYPICAL YARD SECTION**  
C601 NTS



**5 TYPICAL ACCESS ROAD SECTION**  
C601 NTS



**4 BOLLARD**  
C601 N.T.S.



- NOTE:**
- STAKING: FOR ALL TREES 4" CALIPER OR LESS, REMOVE STAKES ONE YEAR AFTER PLANTING.
  - USE 8" STAKES DRIVE 4" BELOW GROUND SURFACE.
  - GUYING: FOR ALL EVERGREEN TREES AND ALL TREES TALLER THAN 12'. USE SAME WIRE AS FOR STAKING. USE THREE PER TREE, EQUALLY SPACED. DO NOT TWIST WIRE TO TIGHTEN. USE 1/2"x6" TURNBUCKLE.
  - ROOT COLLAR TO BE SLIGHTLY ABOVE SURROUNDING GRADE.
  - MULCH CAN NOT BE MORE THAN 1" THICK AT ROOT COLLAR EXTENDING OUT AT LEAST 6" FROM THE BARK, THEN IT CAN BE THICKENED.
  - MULCH IS TO BE PLACED 3 TO 6 INCHES AWAY FROM THE TRUNK.
  - KRAFT WRAP PAPER SHALL NOT BE PERMITTED FOR RODENT GUARD.

**6 TREE PLANTING**  
C601 NTS

APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_

ENGINEERING & PLANNING

REV.	DESCRIPTION	DATE	BY	CK	APP

OWNER ENGINEER: \_\_\_\_\_ APPROVAL STAMP: \_\_\_\_\_ PE Stamp \_\_\_\_\_

DRAWING PREPARED BY: **LaBella** ACCEPTED BY OE: \_\_\_\_\_  
Powered by partnership.

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**NYSEG**  
AVANGRID

0-0A 06/03/2022 MCP PERMITTING

REV.	DATE	BY	DESCRIPTION	APP.

**STATION 55 REBUILD CONSTRUCTION DETAILS**

**STATION 55** MONROE

DR. MCP SCALE: NTS FILE: C600 Construction Details.dwg

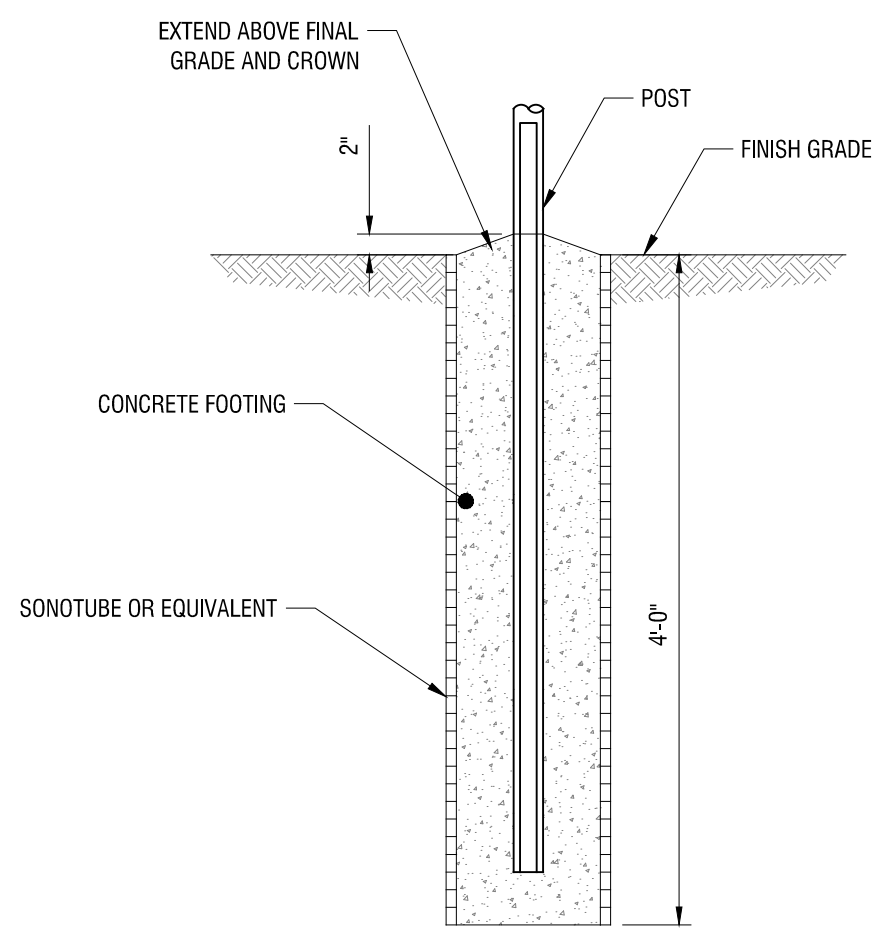
CK. MBS NO.

APP. MBS

DATE: 06/03/2022

REV. C601 0-0A

ANSI D CADD Drawing. DO NOT REVISE MANUALLY.



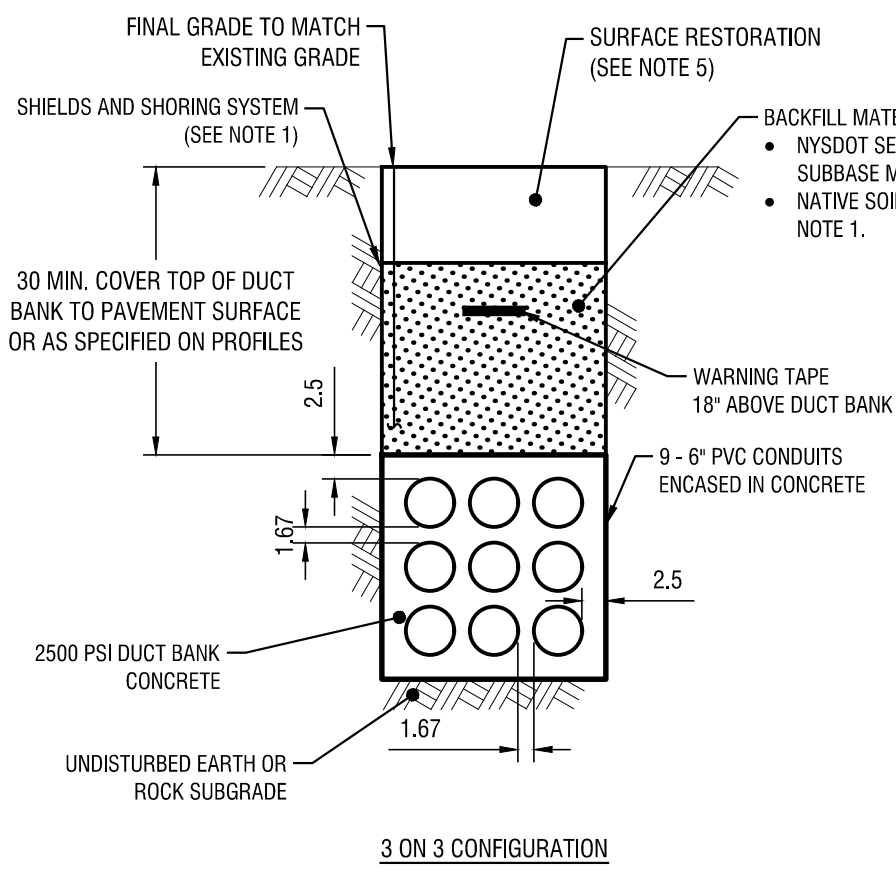
POST USE	LINE	GATE	CORNER	END
ASTM F 1043 (INCHES)	3	6	4	4
SONOTUBE SIZE (INCHES)	12	24	12	12

**FOOTING NOTES:**

- UNLESS OTHERWISE INDICATED, FENCE POST SIZES ARE INDUSTRY STANDARD NOMINAL SIZES IN ACCORDANCE WITH ASTM F 1043, GALVANIZED STEEL PIPE.
- BACKFILL SONOTUBE WITH MIN. 3,000 PSI CONCRETE.
- ALL CONCRETE SHALL BE SINGLE POUR TO FINAL GRADE.
- WHEN INSTALLING POSTS IN CLAY:
  - POST HOLE DEPTH SHALL BE INCREASED TO 6 FEET.
  - BACKFILL 4 FEET WITH CONCRETE.
  - BACKFILL FINAL 2 FEET WITH NATIVE SOIL.

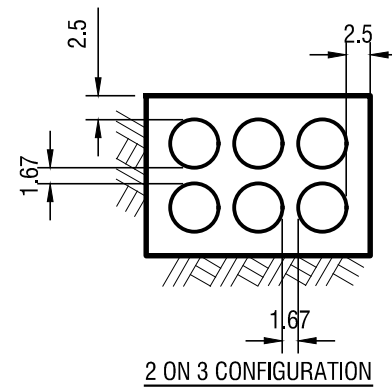
**1 LINE, GATE, END, & CORNER POST CONCRETE FOOTING DETAIL**

C602



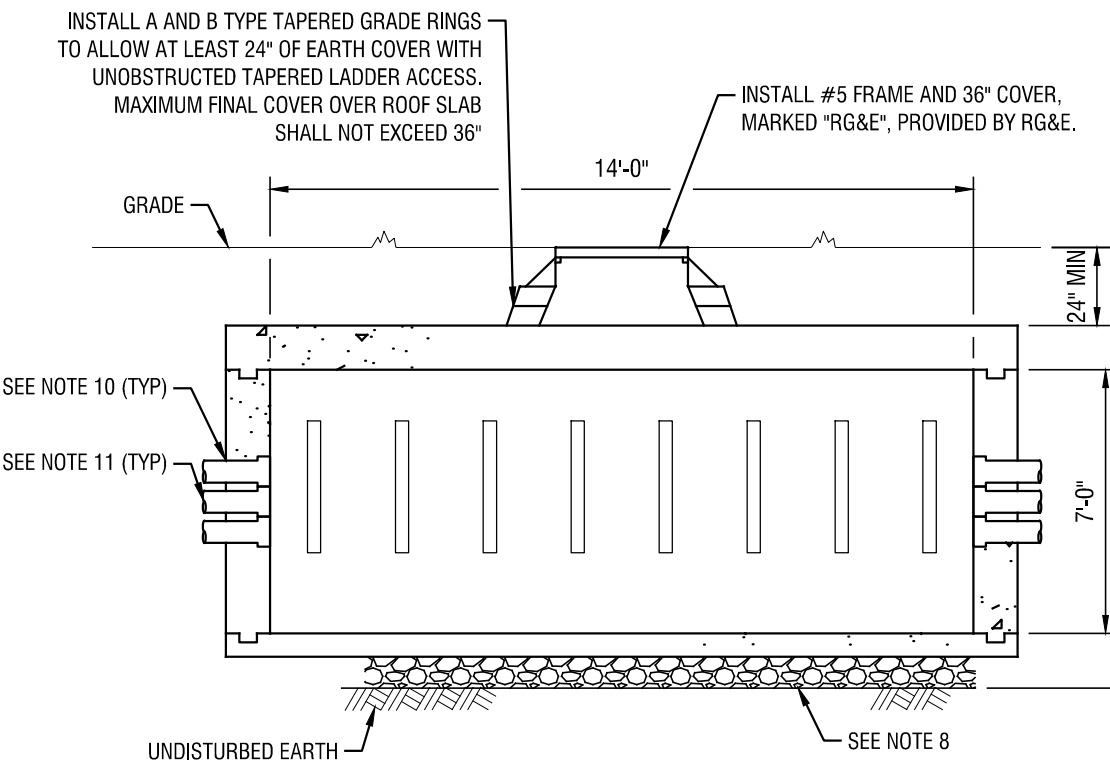
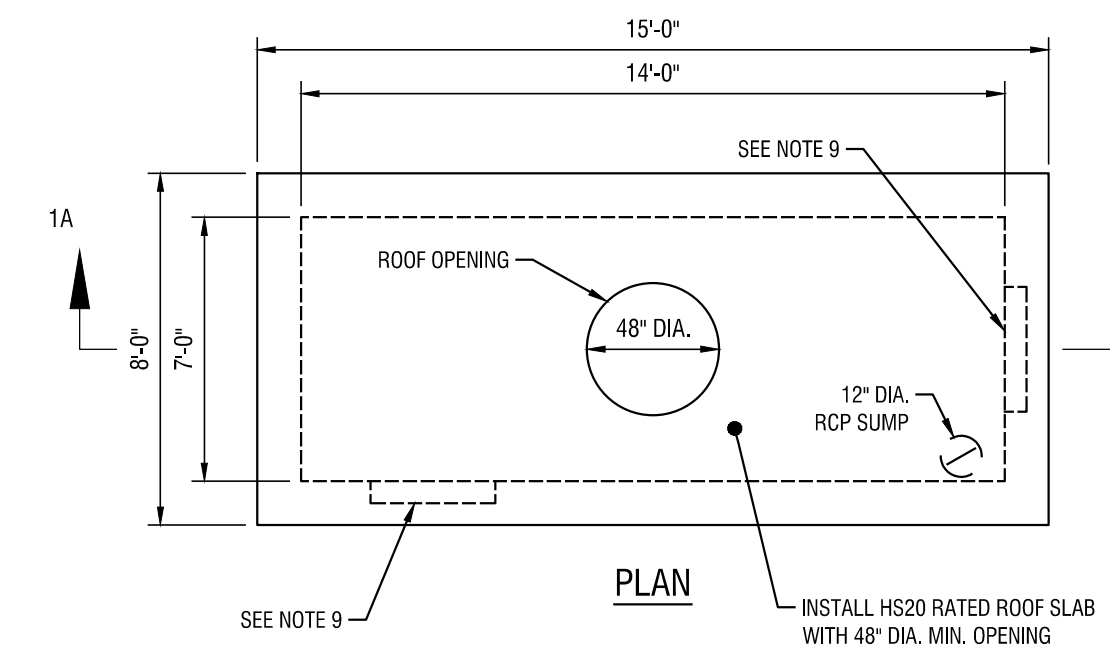
**NOTES:**

- SHIELDS AND SHORING SYSTEM TO BE IN ACCORDANCE WITH NYS DOT SPECIFICATIONS AND OSHA REQUIREMENTS.
- BOND BREAKER TO BE INSTALLED BETWEEN ALL EXISTING AND PROPOSED DUCT BANKS ALONG THE ENTIRE LENGTH OF NEW CONSTRUCTION.
- ALL SWEEPS AND BENDS 22.5 DEGREES OR GREATER SHALL BE GALVANIZED STEEL.
- RADIUS FOR ALL BENDS SHALL BE MINIMUM 36". 90 DEGREE BENDS SHALL HAVE MIN. RADIUS OF 48".
- SURFACE RESTORATION SHALL BE PER OWNER/PERMITTING AGENCY REQUIREMENTS, SEE ADDITIONAL DETAILS.
- MAXIMUM PAY LIMIT FOR TRENCH RESTORATION WIDTH (DRIVEWAY, PARKING LOT, GRASS, ROADWAY) SHALL BE 4 FEET.
- CONDUIT SHALL BE CLEANED AND CHECKED WITH A BRUSH-MANDREL-BRUSH CONFIGURATION AFTER INSTALLATION AND PRIOR TO INSTALLING CABLE. THE MINIMUM MANDREL SIZE PERMITTED IS 1/2" LESS IN DIAMETER THAN THE DUCT. THE CIRCULAR WIRE BRUSH SHOULD HAVE THE SAME DIAMETER AS THE DUCT.
- INTERMEDIATE AND BASE SPACERS SHALL BE USED AT 5' INTERVALS ALONG THE COMPLETE DISTANCE OF CONSTRUCTION.



**2 TYPICAL DUCT BANK DETAIL**

C602



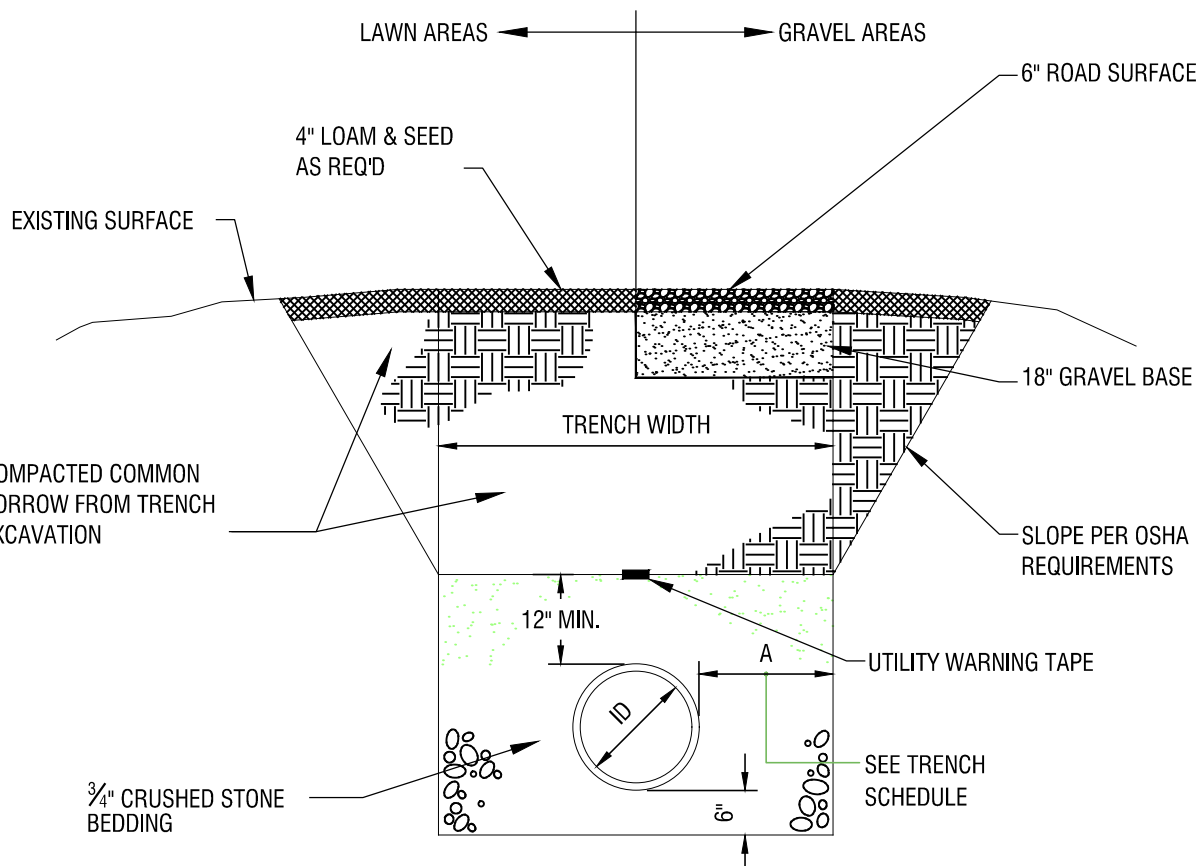
**SECTION 1A-1A**

**3 TYPICAL MANHOLE DETAIL**

C602

**MANHOLE NOTES:**

- BENTONITE SEAL: "WATERSTOP RX" OR "JOINT STRIP" BY AMERICAN COLLOID OR EQUAL.
- DETAILS SHOWN ARE TYPICAL REQUIREMENTS. CONTRACTOR SHALL ORIENT DETAILS TO SUIT MANHOLE ARRANGEMENT.
- DRAIN: WHERE SPECIFIED, A 4" DRAIN AND TRAP SHALL BE INSTALLED THROUGH THE WALL AS CLOSE TO THE FLOOR AS POSSIBLE. IF THE DRAIN CAN'T BE INSTALLED WITHIN 12" OF THE FLOOR, A SUMP PUMP CROCK SHALL BE INSTALLED.
- PULL IN IRONS: SHALL BE INSTALLED ON EACH END WALL AND EACH SIDE WALL OPPOSITE THE DUCT BANK AT 12" - 18" OFF THE FLOOR.
- WATER PROOFING: SHALL BE APPLIED TO THE ROOF AND CHIMNEY AND WALLS OF ALL MANHOLES.
- REINFORCING STEEL: WHEN REQUIRED, SHALL BE 60,000 PSI ASTM A615 GRADE 60 DEFORMED STEEL AND BE ARRAYED AS SHOWN ON THE VENDOR DRAWINGS.
- CONCRETE MINIMUM DESIGN STRENGTH SHALL BE 4000 PSI AT 28 DAYS, UNLESS HIGHER STRENGTH IS REQUIRED IN DESIGN FOR PRECAST STRUCTURES.
- PROVIDE A 6" LAYER OF AGGREGATE ON UNDISTURBED EARTH OR ROCK SUBGRADE BELOW ALL MANHOLES.
- ALL TERMINATIONS FOR NEW CONDUITS SHALL BE THRU KNOCKOUTS INTO NEW MANHOLE. REFER TO VAULT TERMINATION DETAIL.
- REMOVE KNOCKOUT TO ACCOMMODATE PRE-ASSEMBLED CABLES, DUCT. INSTALL MORTAR AROUND DUCT AFTER INSTALLATION.
- NUMBER AND SIZE OF CONDUIT VARY AT EACH INSTALLATION. SEE 2/7002 FOR CONDUIT LAYOUT.
- PIPE HANGERS TO BE INSTALLED PERPENDICULAR ABOVE CENTER OF SIDEWALL KNOCKOUTS.
- ALL DETAILS IN THIS SECTION SHALL SUPERSEDE ANY CONFLICTING INFORMATION REFERENCED IN R&E STANDARDS.
- REFER TO MANHOLE GROUNDING DETAIL.

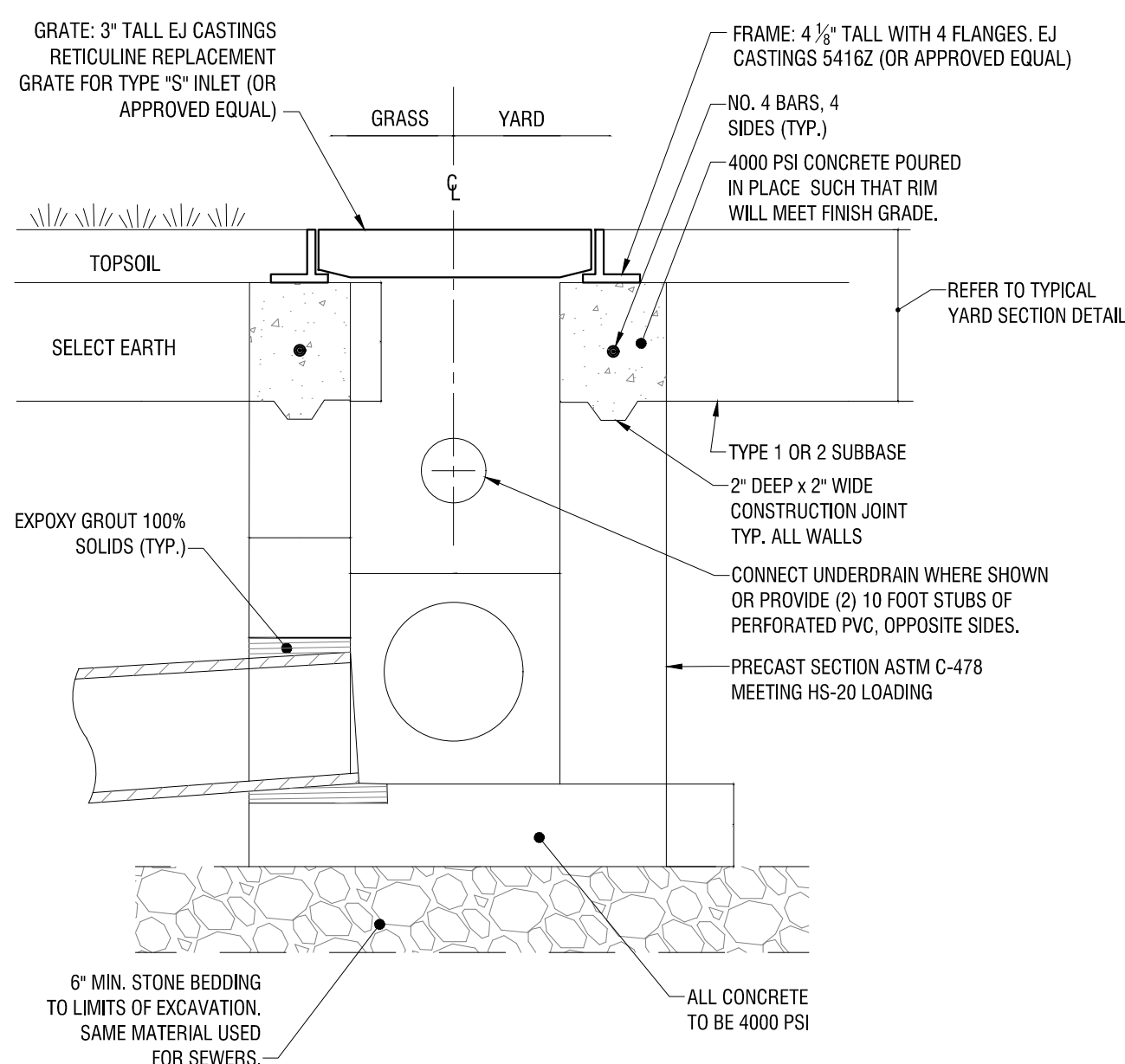


TRENCH SCHEDULE	
ID (MIN.)	A (MIN.)
4'-12"	0'-10"
15"	0'-10"
18"	0'-10"
24"	0'-6"
30"	0'-6"
36"	0'-6"

NOTE: SHORE TRENCH EXCAVATION AS REQUIRED TO MINIMIZE EXCAVATION AND IMPACTS TO ADJACENT UTILITIES STRUCTURES OR PAVEMENT. TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA REQUIREMENTS.

**4 TYPICAL PIPE TRENCH SECTION**

C602 NTS



**NOTES:**

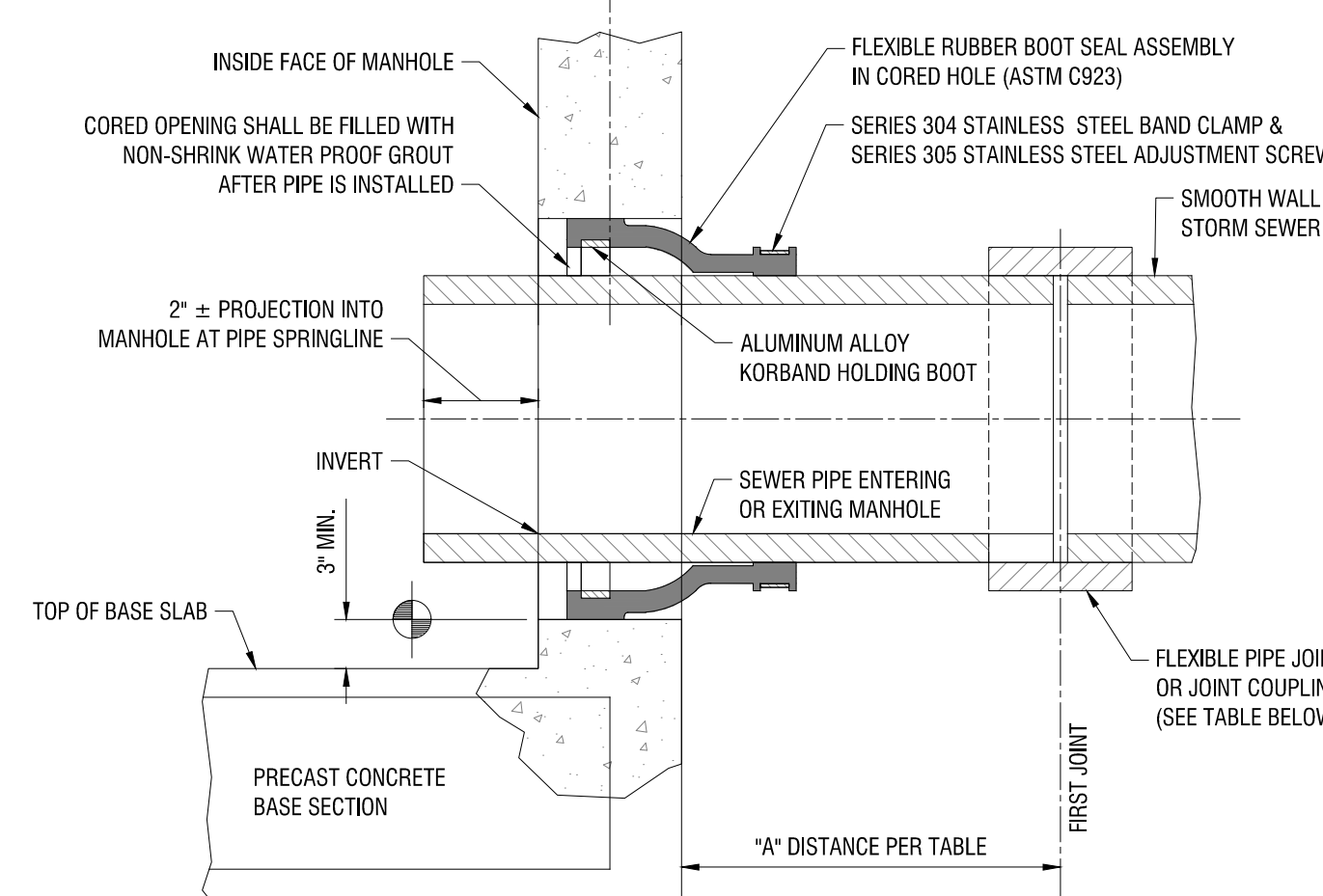
- THE ENTIRE EXTERIOR & INTERIOR SURFACES OF THE CATCH BASIN SHALL BE PAINTED WITH TWO COATS OF BITUMASTIC COATING.
- CATCH BASIN SHALL NOT BE CONNECTED TO ANY SANITARY SEWER.
- PROVIDE FRAMES AND GRATES CONFORMING TO NYS DOT STANDARD SHEETS M655-10R3, M655-6.
- FRAMES TO HAVE APPROPRIATE STRAP ANCHORS.

**5 CATCH BASIN**

C602 N.T.S.

**6 TYPICAL CABLE TRENCH INSTALLATION**

C602 NTS



**FLEXIBLE JOINT REQUIREMENTS**

SEWER PIPE TYPE	FLEXIBLE JOINT TYPE IN & OUT	*A" DISTANCE (FEET)
DUCTILE IRON	STD RUBBER GASKET PIPE JOINT ONLY	10' MAX
PVC	STD RUBBER GASKET PIPE JOINT ONLY	3' MAX
SICPP	STD RUBBER GASKET PIPE JOINT ONLY	3' MAX

**NOTES:**

- REFERENCE MANHOLE DETAIL(S) FOR REQUIRED INVERT CHANNEL CONFIGURATION.

**7 PIPE CONNECTION TO STORM MANHOLE**

C602 N.T.S.

REV.	DESCRIPTION	DATE	BY	CK	APP	OWNER ENGINEER:	APPROVAL STAMP:	PE Stamp

APPROVED BY:

ENGINEERING & PLANNING DATE

DRAWING PREPARED BY: ACCEPTED BY OE:



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REV.	DATE	BY	DESCRIPTION
0-0A	06/03/2022	MCP	PERMITTING



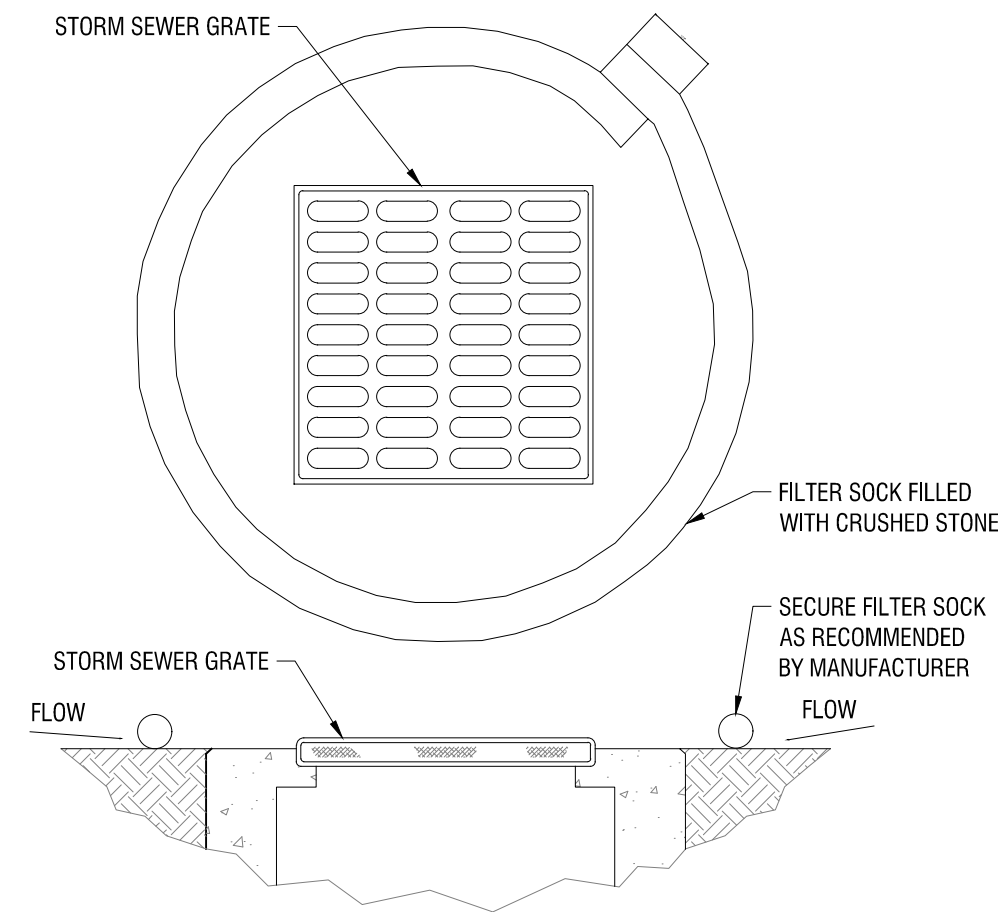
**STATION 55 REBUILD CONSTRUCTION DETAILS**

STATION 55 MONROE

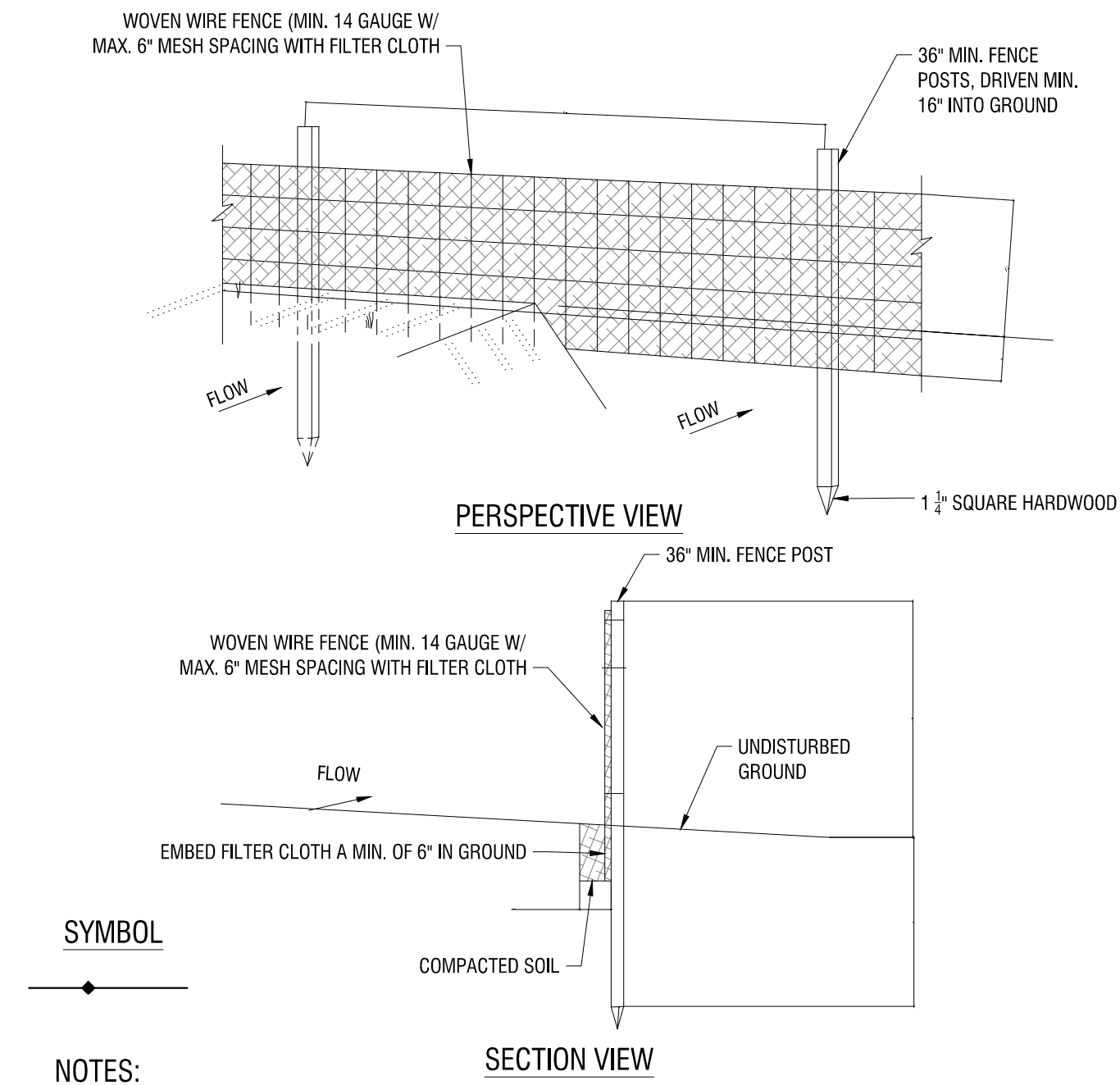
DR.	MCP	SCALE: NTS	FILE: C600 Construction Details.dwg	REV.
CK.	MBS	NO.		
APP.	MBS			
DATE:	06/03/2022			

C602 0-0A

ANSI D CADD Drawings DO NOT REVISE MANUALLY.

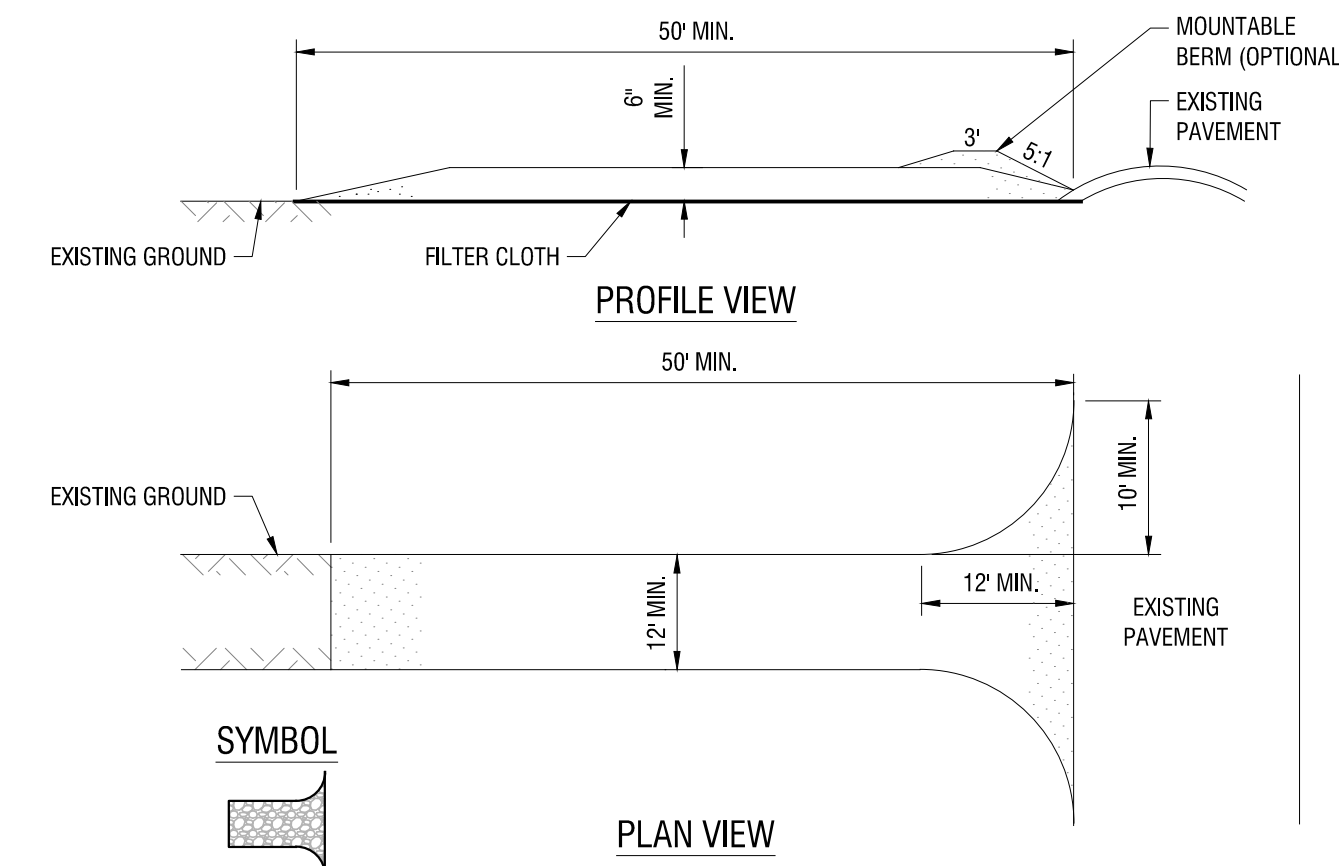


1 INLET PROTECTION IN PAVEMENT  
C603 N.T.S.



- NOTES:
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "I" OR "U" TYPE OR HARDWOOD.
  - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABLINKA 140N, OR APPROVED EQUAL.
  - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

2 SILT FENCE  
C603 N.Y.S DEC DETAIL: SILT FENCE



- CONSTRUCTION SPECIFICATIONS:
- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  - LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
  - THICKNESS - NOT LESS THAN SIX (6) INCHES.
  - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
  - GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT.

3 STABILIZED CONSTRUCTION ENTRANCE  
C603 N.Y.S DEC DETAIL: STABILIZED CONSTRUCTION ACCESS

ANSI D CADD Drawings DO NOT REVISE MANUALLY.

APPROVED BY: \_\_\_\_\_  
ENGINEERING & PLANNING \_\_\_\_\_ DATE \_\_\_\_\_

REV.	DESCRIPTION	DATE	BY	CK	APP

OWNER ENGINEER: \_\_\_\_\_ APPROVAL STAMP: \_\_\_\_\_ PE Stamp \_\_\_\_\_

DRAWING PREPARED BY: **LaBella** POWERED BY PARTNERSHIP

ACCEPTED BY OE: \_\_\_\_\_

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**NYSEG**  
AVANGRID

0-0A	06/03/2022	MCP	PERMITTING		
REV.	DATE	BY	DESCRIPTION	APP.	DATE

**STATION 55 REBUILD CONSTRUCTION DETAILS**

**STATION 55** **MONROE**

DR.	MCP	SCALE: NTS	FILE: C600 Construction Details.dwg
CK.	MBS	NO.	
APP.	MBS		
REV.			

C603 0-0A